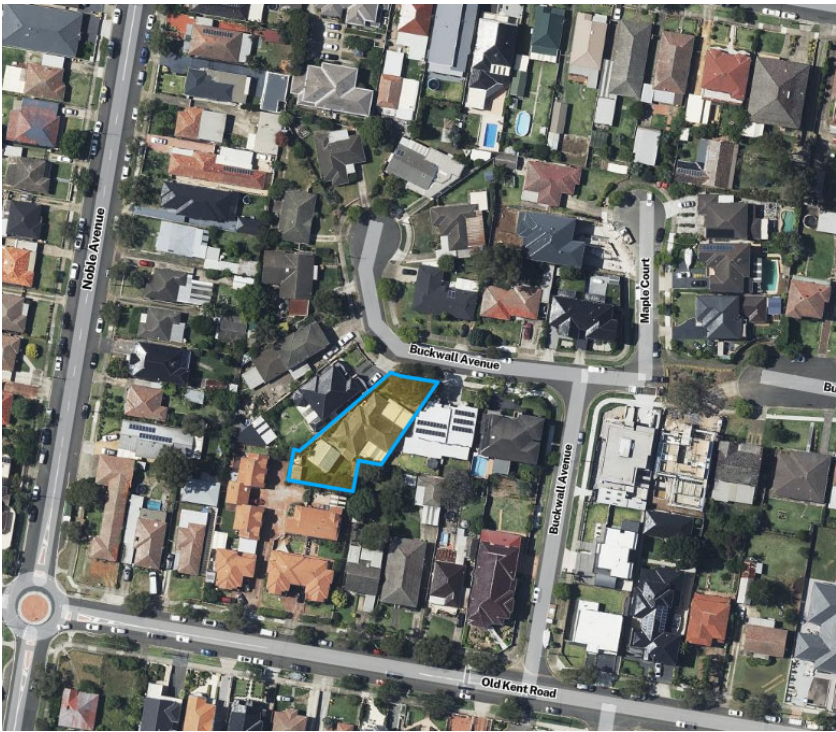


Sheet List

Sheet Number	Sheet Name
A01	COVER SHEET
A02	SITE PLAN
A03	GROUND FLOOR & ROOF PLAN
A04	ELEVATION
A05	SECTION + SCHEDULES + BASIX
A06	SCHEDULE OF FINISHES
A07	EXISTING FLOOR AREA
A08	DEMOLITION PLAN

SECONDARY DWELLING
FOR DA APPROVAL
33 BUCKWALL AVENUE GREENACRE NSW
POSTCODE: 2190
LOT 41 - DP732562
FOR: JENNY AYOUB
CANTERBURY BANKSTOWN CITY COUNCIL



GENERAL BASIX CALCULATIONS & COMMITMENTS. #: 1798994S_02
DATED 26/06/2025

1. INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION - 20m²
2. SHOWER HEADS MUST BE 4 STAR.
3. TOILETS MUST BE 6 STAR.
4. TAPS MUST BE 6 STAR.
5. BATHROOM TAPS MUST BE 6 STAR.
6. R2.44 BRICK VENEER EXTERNAL WALLS.
7. R4.0 CEILING INSULATION.
8. FOIL SISALATION IN ROOF.
9. DARK ABSORPTION ROOF
10. ONE CEILING FAN IN LIVING ROOM
11. WEATHER STRIPPING TO ALL EXTERNAL WINDOWS & DOORS.
12. ALL WINDOWS SHALL BE: ALUMINIUM STANDARD SINGLE-GLAZED
13. REFER TO WINDOW TABLE FOR GLASS SPECIFICATION
14. HOT WATER SYSTEM: HEAT PUMP 45STCS
15. 1-PHASE UNDUCTED AIR CON SYSTEM - 7.5 STAR RATING
16. MECHANICAL VENTS REQUIRED.
17. ELEC COOKTOP + ELEC OVEN
18. LED LIGHTS ONLY
19. CLOTHES LINE REQUIRED.

CALCULATION TABLE - DEVELOPMENT APPLICATION

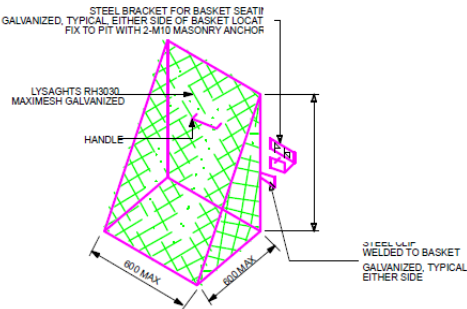
Item	Required	Compliance	Comments
Lot Area	450m2	752.5m2	Existing
Existing Ground Floor Area	-	205m2	Noted
Proposed Secondary Dwelling	60m2	59.95m2	Complies
Total Floor Area	376.25m2	265m2	Complies
FSR	0.5:1 (278.7m2)	0.352:1	Complies
Building Height - Secondary Dwelling	6m	Single Storey	Complies
Zoning	R2	R2	Complies
Storeys	1	1	Complies
Side Setbacks	900mm	920mm & 6.666m	Complies
Rear Setback	900mm	920mm	Complies
Private Open Space (min width 5m)	80m2	>100m2	Complies
Roof Pitch	max 25deg	15 deg	Complies
Maximun wall Height from NSL	3.0m	3.0m	Complies
Solar Access - Living Area	3 hours	3 hours +	Complies
Solar Access - Living Area Neighbouring	3 hours	3 hours +	Complies
Solar Access - 50% POS	3 hours	3 hours +	Complies

NOTES

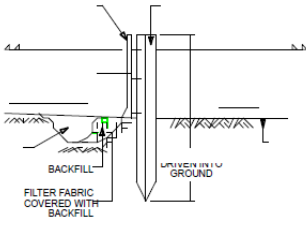
1. ALL DIMENSIONS AND FLOOR AREAS ARE TO BE VERIFIED BY THE BUILDER AND A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
8. ALL DEMOLITON AND REMOVAL WORK TO BE CARRIED OUT WITH APPROVED WASTE MANAGEMENT PLAN AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS & APPROVAL CONDITIONS.
9. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE F AUSTRALIA (BCA).
10. SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL NOTES

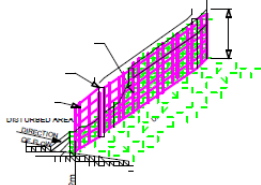
1. All erosion and sediment control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of Soil Conservation of NSW.
2. All drainage works shall be constructed and stabilised as early as possible during construction.
3. Sediment traps shall be constructed and stabilised as early as possible 450mm wide by 450mm deep trench.
4. All sediment basins and traps shall be cleaned when structures are a maximum of 60% full of soil materials, including the maintenance period.
5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
6. Soil and topsoil stockpiles shall be located away from drainage lines and areas where water may congregate.
7. Filter shall be constructed by stretching a filter fabric (propex or approved equivalent) between posts at 3.0m centres. Fabric shall be buried 150mm along its lower edge.
8. Refer to concept stormwater engineering for clarity and structure details.



TRASH SCREEN DETAIL
N.T.S.



TYPICAL SEDIMENT FENCE SECTION
SCALE 1:20



SEDIMENT FENCE



31B BUCKWALL AVENUE,
GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED: *Nouhad Farah*

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	09/06/2025
1.1	ISSUE FOR DA APPROVAL	26/06/2025

CLIENT: JENNY AYOUB

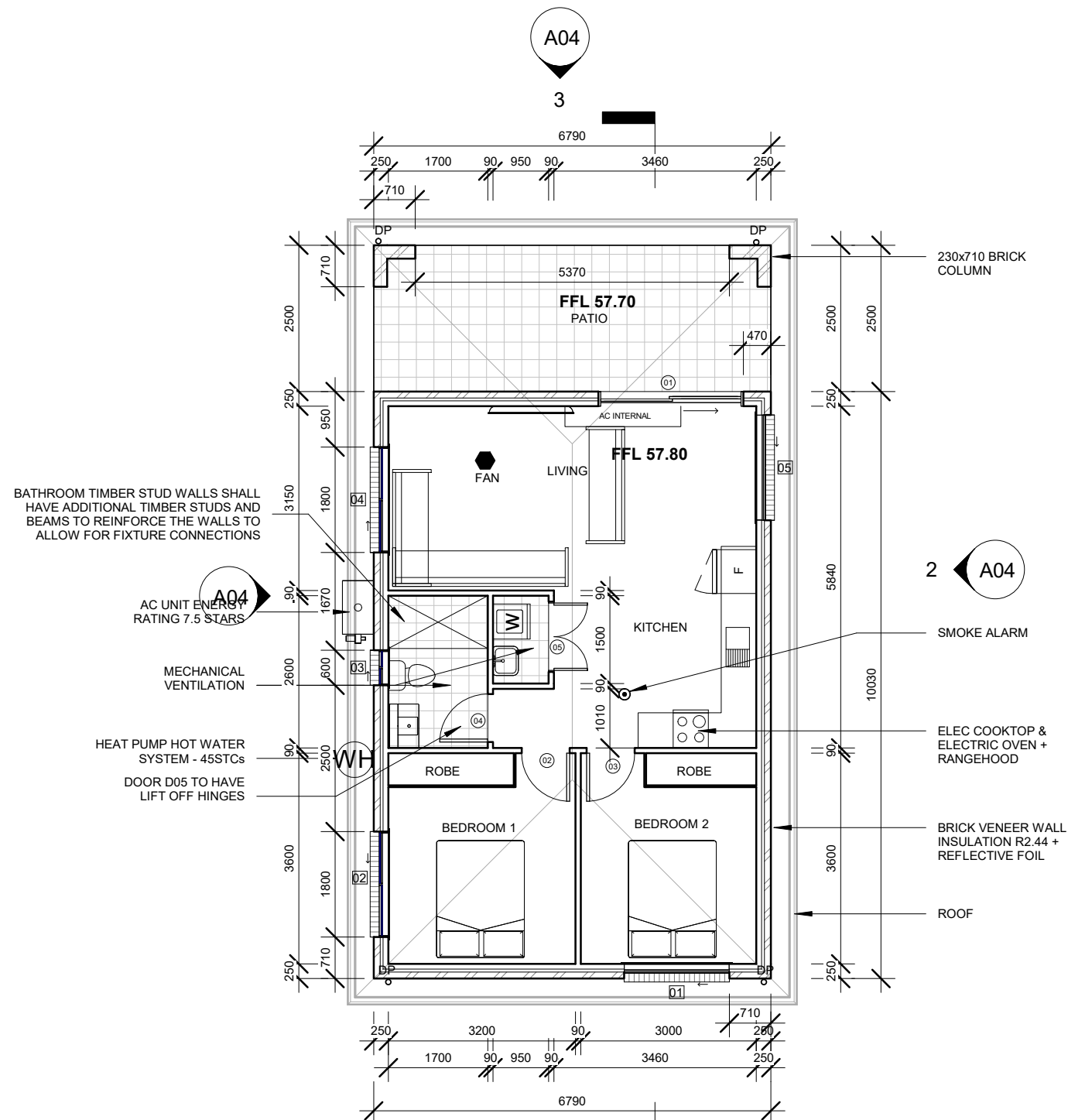
33 BUCKWALL AVE GREENACRE - SECONDARY
DWELLING - LOT41, DP732562

COVER SHEET

A01

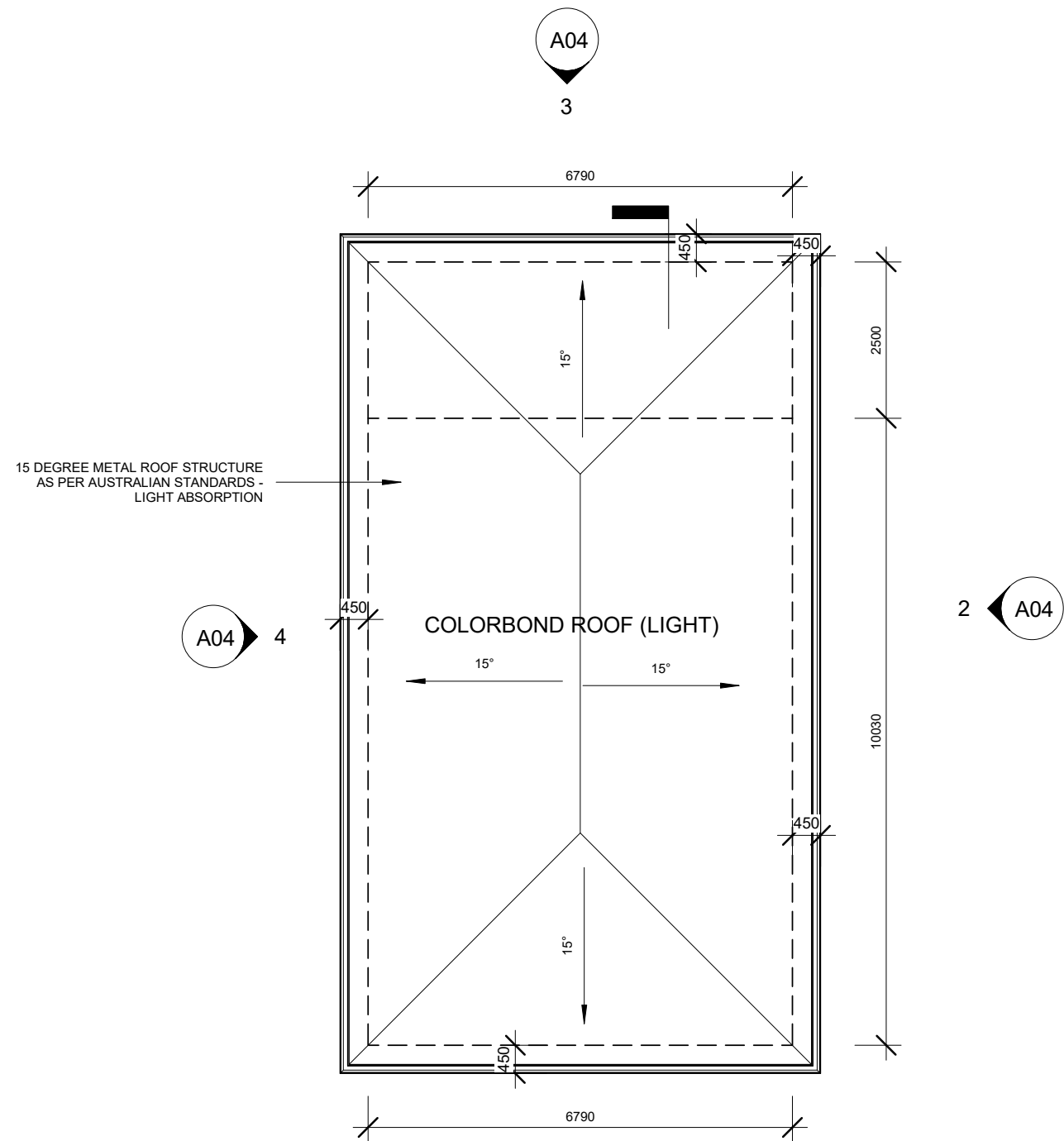
Scale	@ A3
Project number	SYD25/728
Date	26/06/2025
Drawn by	NL CONS
Checked by	N. FARAH

NOTES:
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NOTE: SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH A.S. 1670.1, AS 3786 AND NATIONAL CONSTRUCTION CODE

Ground Floor
1 : 100



ROOF
1 : 100

FOR DA APPROVAL



31B BUCKWALL AVENUE,
GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED: *Nouhad Farah*

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1.1	ISSUE FOR DA APPROVAL	26/06/2025

CLIENT: JENNY AYOUB

33 BUCKWALL AVE GREENACRE - SECONDARY
DWELLING - LOT41, DP732562

GROUND FLOOR & ROOF PLAN

A03		
Scale	1 : 100	@ A3
Project number	SYD25/728	
Date	26/06/2025	
Drawn by	NL CONS	
Checked by	N. FARAH	

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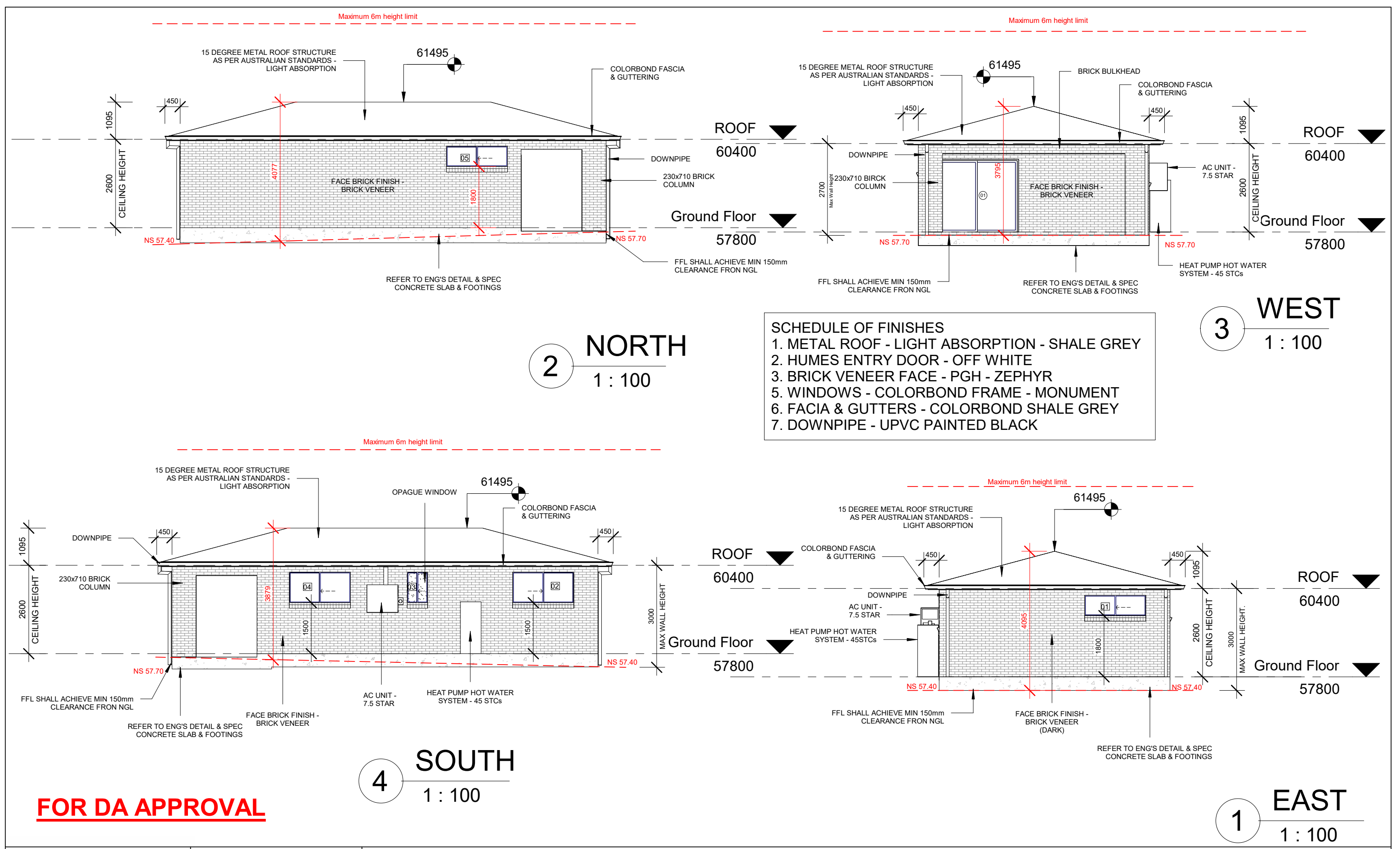
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CLIENT: JENNY AYOUB

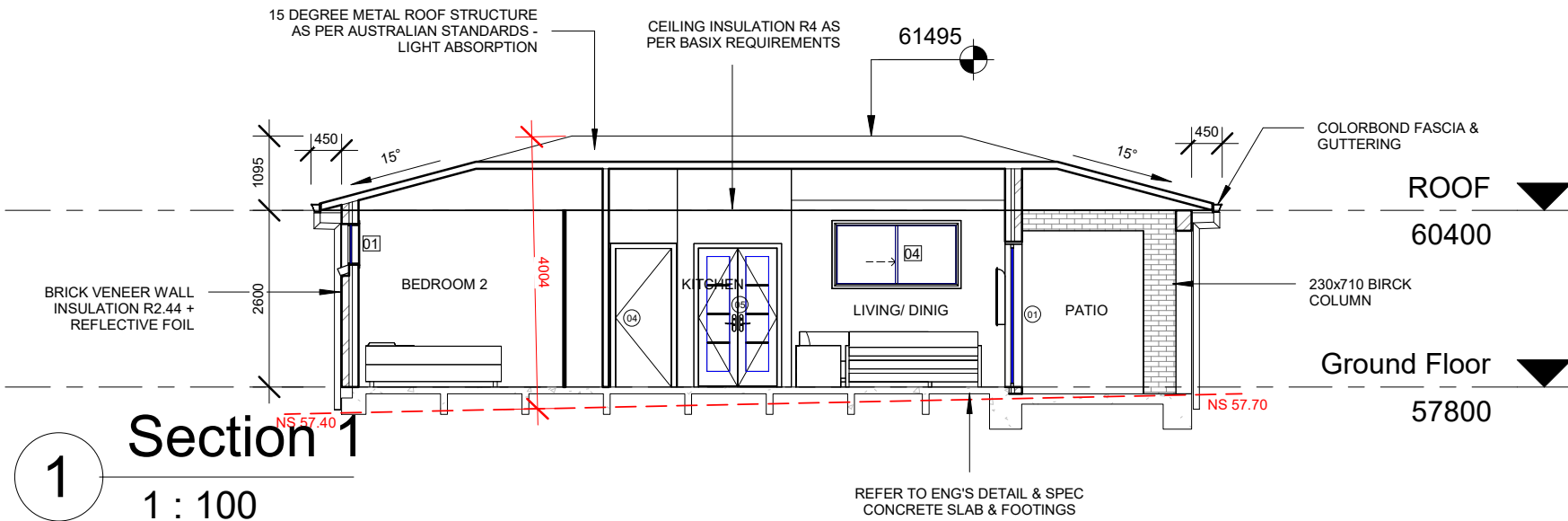
33 BUCKWALL AVE GREENACRE - SECONDARY
DWELLING - LOT41, DP732562

ELEVATION

A04

Scale	1 : 100 @ A3
Project number	SYD25/728
Date	26/06/2025
Drawn by	NL CONS
Checked by	N. FARAH

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Door Schedule

Level	Mark	Height	Width	Finish	Comments
Ground Floor	01	2100	2400	POWDERCOATED ALUMINIUM - STANDARD SINGLE CLEAR - (U VALUE 3.5, shgc 0.49-0.6)	ENTRY / PATIO
Ground Floor	02	2040	820	TIMBER	BEDROOM 1
Ground Floor	03	2040	820	TIMBER	BEDROOM 2
Ground Floor	04	2040	820	TIMBER	BATHROOM
Ground Floor	05	2040	1150	TIMBER BIFOLD	LAUNDRY

Ground Floor: 5

Grand total: 5

Window Schedule

Mark	Window Style	Width	Height	Material	Glazing	Remarks	Sill Height	Head Height
01	SLIDING WINDOW	1800	600	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=3.5, SHGC: 0.40)	BEDROOM 2	1800	2400
02	SLIDING WINDOW	1800	900	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.40-0.49)	BEDROOM 1	1500	2400
03	SLIDING WINDOW	600	900	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.40-0.49)	BATHROOM	1500	2400
04	SLIDING WINDOW	1800	900	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.40-0.49)	LIVING	1500	2400
05	SLIDING WINDOW	1800	600	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.40-0.49)	LIVING	1800	2400

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 4.1 to 4.5 (average zone).	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1 phase accommodation - non ducted, Energy rating: 7.5 star (average zone). The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.	✓	✓	✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1 phase accommodation - non ducted, Energy rating: 7.5 star (average zone). The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.	✓	✓	✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof. Operation control: manual on / timer off Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off	✓	✓	✓
Artificial lighting The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light emitting-diode (LED) lamps.	✓	✓	✓
Natural lighting The applicant must install a window and/or skylight in 1 bathroom(s)/bath(s) in the development for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Other The applicant must install a fixed outdoor clothes drying line as part of the development.	✓	✓	✓

Legend
In these commitments, "applicant" means the person carrying out the development. Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). Commitments identified with a ✓ in the "Show on CCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
ceiling and roof - flat ceiling / pitched roof, framed - metal roof (insulated veneer under (U.V.))	100	ceiling: 4 (up), roof: full walling, ceiling: Ranges bats or roll, roof: full walling	all	roof space ventilation unventilated, roll colour: light (color absorbance < 0.30), ceiling area fully insulated
Note - Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.				
Note - If the additional ceiling insulation listed in the table above is greater than 100, refer to the ABCB Housing Provisions (Part 13.2.2 (b)) of the National Construction Code.				
Note - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.				
Note - Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.				

Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Ceiling fans The applicant must install at least one ceiling fan in at least one daytime habitable space, such as a living room. The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.	✓	✓	✓

Thermal Performance and Materials commitments				Show on DA plans	Show on CCDC plans & specs	Certifier check
Glazed windows, doors and skylights						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshading specifications must be indicated for each glazed window and door.						
The dwelling may have 1 skylight (0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.				✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Federation of Roofing Council (NFRC) conventions.				✓	✓	✓
• Overshading buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the "overshading" column.				✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 2 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).						
Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Extension within 10%)	Overshading	
North facing						
W05	600.00	1800.00	aluminium, single glazed (U-value: <=4.0, SHGC: 0.40-0.49)	save 400 mm, 250 mm above head of window or glazed door	>4 m high, 0-12 m away	
East facing						
W01	600.00	1800.00	aluminium, single glazed (U-value: <=3.5, SHGC: 0.40-0.49)	save 400 mm, 250 mm above head of window or glazed door	not overshadowed	
South facing						

Source

Department of Planning, Housing and

www.bass.gov.au Version 4.0.0/ELC/VA/VT013_31_31

Certificate No. 1789882_02

Thursday, 26 June 2025

page 11/11

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshading
W02	900.00	1800.00	aluminium, single glazed (U-value: <=4.0, SHGC: 0.40-0.49)	save 400 mm, 250 mm above head of window or glazed door	>4 m high, 0-4 m away
W03	900.00	900.00	aluminium, single glazed (U-value: <=4.0, SHGC: 0.40-0.49)	save 400 mm, 250 mm above head of window or glazed door	>4 m high, 0-4 m away
W04	900.00	1800.00	aluminium, single glazed (U-value: <=4.0, SHGC: 0.40-0.49)	save 400 mm, 250 mm above head of window or glazed door	>4 m high, 0-4 m away
West facing					
D01	2100.00	2400.00	aluminium, single glazed (U-value: <=3.5, SHGC: 0.40-0.49)	solid overhang 200 mm, 500 mm above head of window or glazed door	not overshadowed

BASIX™Certificate Building Sustainability Index www.planningportal.nsw.gov.au/development-and-assessment/basix Single Dwelling Certificate number: 1708045_02	Project summary Project name: 33 BUCKWALL AVE GREENACRE GRANNY Flat_02 Street address: 33 BUCKWALL AVE GREENACRE 2160 Local Government Area: Canterbury-Bankstown Council Plan type and plan number: Decepted Plan DP732562 Lot no: 41 Section no: - Project type: dwelling house (detached) - secondary dwelling No. of bedrooms: 2 Project score Water: 40 Target 40 Thermal Performance: Pass Target Pass Energy: 72 Target 68 Materials: 27 Target n/a
--	---

Description of project Project address: 33 BUCKWALL AVE GREENACRE GRANNY Flat_02 Street address: 33 BUCKWALL AVE GREENACRE 2160 Local Government Area: Canterbury-Bankstown Council Plan type and plan number: Decepted Plan DP732562 Lot no: 41 Section no: - Project type: dwelling house (detached) - secondary dwelling No. of bedrooms: 2 Site details Site area (m ²): 753 Total area (m ²): 180 Conditioned floor area (m ²): 55.9 Unconditioned floor area (m ²): 5.0 Total area of garden and lawn (m ²): 47 Total area of the existing dwelling (m ²): 250 Number of bedrooms in the existing dwelling: 4	Assessor details and thermal loads NatlHERS assessor number: n/a NatlHERS certificate number: n/a Climate zone: n/a Area adjusted cooling load (MJ/m ² /year): n/a Area adjusted heating load (MJ/m ² /year): n/a Project score Water: 40 Target 40 Thermal Performance: Pass Target Pass Energy: 72 Target 68 Materials: 27 Target n/a
--	---

Water Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Landscaping The applicant must plant indigenous or low water use species of vegetation throughout 25 square metres of the site.	✓	✓	✓
Fixtures The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or aerator) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. The applicant must install taps with a minimum rating of 4 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check	
Do-it-yourself Method				
General features				
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓	
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓	
The dwelling must not contain open mezzanine area exceeding 20 square metres.	✓	✓	✓	
The dwelling must not contain that level habitable attic room.	✓	✓	✓	
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓	
The applicant must adopt one of the options listed in the table below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓	
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the table below.	✓	✓	✓	
Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pool slab	40	not specified	all	
external wall: brick veneer, frame, laminated veneer lumber (LVL)	all external walls	2.44 (or 3.02 including construction/finishing bats or roll - reflective film in the cavity)	all	wall colour: Dark (color absorbance 0.1 to 0.35)
internal wall: single skin masonry, frame, laminated veneer lumber (LVL)	45	finishing bats or roll	all	

BAGS

Department of Planning, Housing and Infrastructure

www.bags.nsw.gov.au

Version: 4.0.1, EULACVPT05LBS_01

Certificate No.: 17989481_02

Thursday, 31st June 2020

FOR DA APPROVAL



31B BUCKWALL AVENUE,
GREENACRE, NSW 2160

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED: *Nouhad Farah*

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	26/06/2025

CLIENT: JENNY AYOUB

33 BUCKWALL AVE GREENACRE - SECONDARY
DWELLING - LOT41, DP732562

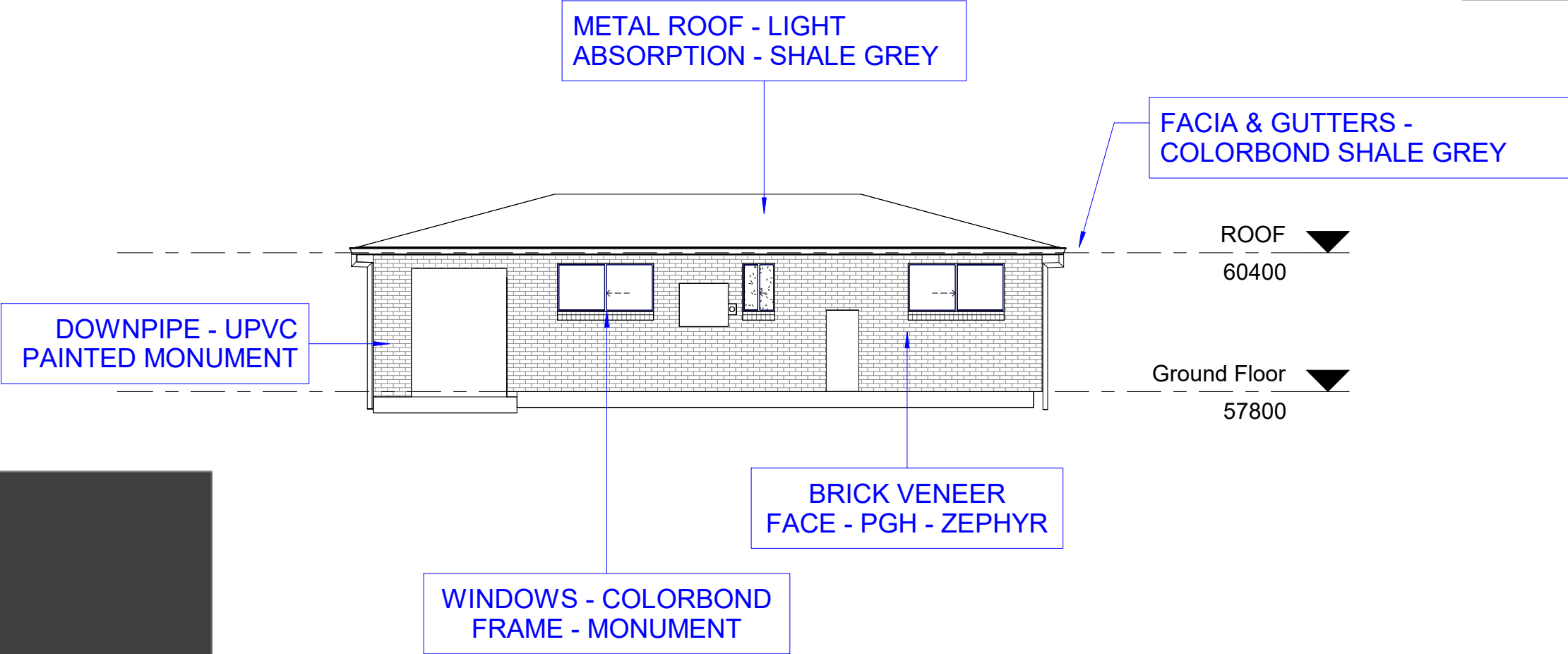
SECTION + SCHEDULES + BASIX

Scale	1 : 100 @ A3
Project number	SYD25/728
Date	26/06/2025
Drawn by	NL CONS
Checked by	N. FARAH

NOTES:
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Zephyr
Standard Size
Bold Blacks



1

SCHEDULE OF FINISHES

1 : 100

FOR DA APPROVAL

31B BUCKWALL AVENUE,
GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED: *Nouhad Farah*

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MEMBERSHIP NUMBER: 3312640

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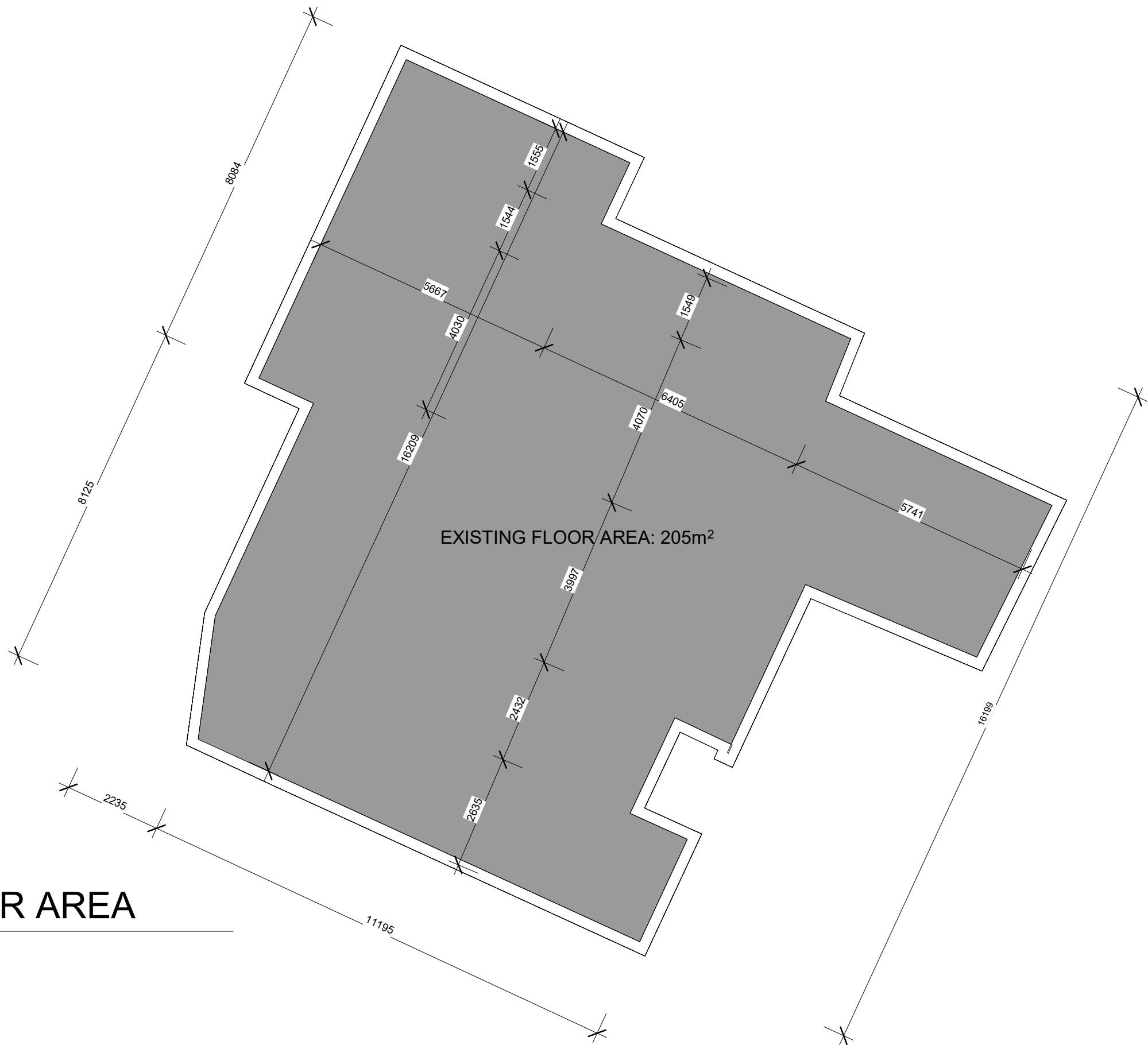
CLIENT: JENNY AYOUB

33 BUCKWALL AVE GREENACRE - SECONDARY
DWELLING - LOT41, DP732562

SCHEDULE OF FINISHES

A06		
Scale	1 : 100	@ A3
Project number	SYD25/728	
Date	26/06/2025	
Drawn by	NL CONS	
Checked by	N. FARAH	

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EXISTING FLOOR AREA

1 : 100

FOR DA APPROVAL



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GREENACRE, NSW 2190
CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM
SIGNED: *Nouhad Farah*
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1.1	ISSUE FOR DA APPROVAL	26/06/2025

CLIENT: JENNY AYOUB

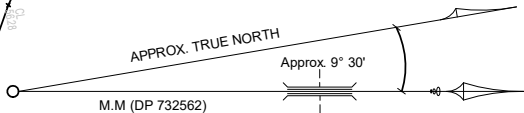
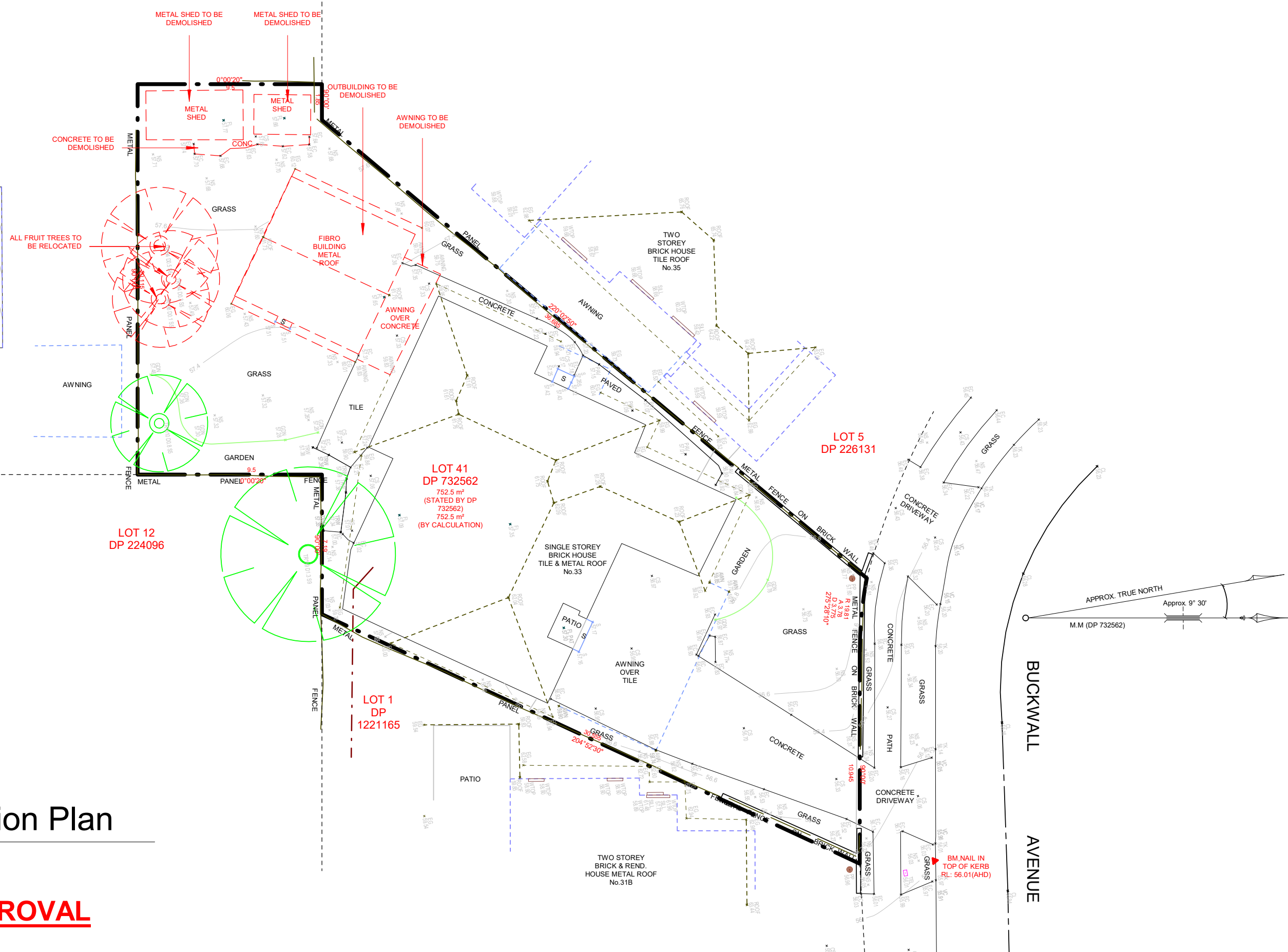
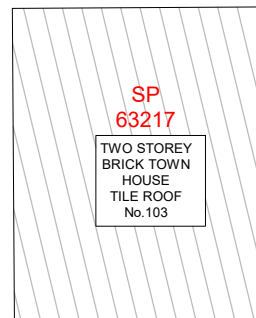
33 BUCKWALL AVE GREENACRE - SECONDARY
DWELLING - LOT41, DP732562

EXISTING FLOOR AREA

A07

Scale	1 : 100 @ A3
Project number	SYD25/728
Date	26/06/2025
Drawn by	NL CONS
Checked by	N. FARAH

NOTES:
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2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
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1 Demolition Plan

1 : 200

FOR DA APPROVAL



31B BUCKWALL AVENUE,
GREENACRE, NSW 2190

CONTACT: 0434 575 819
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SIGNED: *Nouhad Farah*

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	09/06/2025
1.1	ISSUE FOR DA APPROVAL	26/06/2025

CLIENT: JENNY AYOUB

33 BUCKWALL AVE GREENACRE - SECONDARY DWELLING - LOT41, DP732562

DEMOLITION PLAN

A08	
Scale	1 : 200 @ A3
Project number	SYD25/728
Date	26/06/2025
Drawn by	NL CONS
Checked by	N. FARAH

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